



EAST ELEVATION (SCALE 1 : 100)



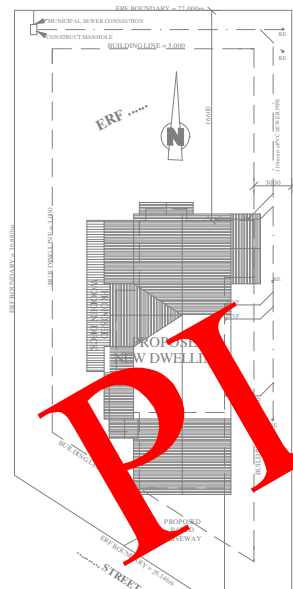
SOUTH ELEVATION (SCALE 1 : 100)



WEST ELEVATION (SCALE 1 : 100)

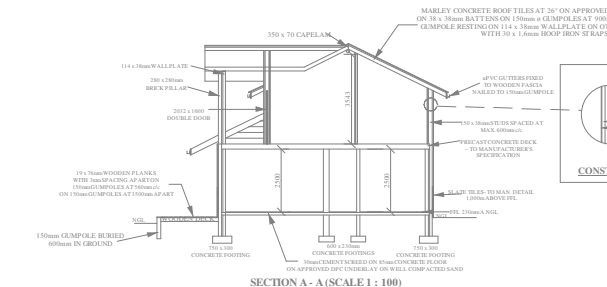


NORTH ELEVATION (SCALE 1 : 100)

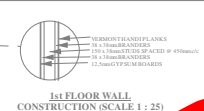


SITE PLAN (SCALE 1 : 200)

- NOTES**
- A. ROOF CONSTRUCTION
 - MARLEY CONCRETE ROOF TILES AT 20° ON APPROVED DPC UNDERLAY ON 38 x 130mm BATTENS ON 150mm x 60mm GUMPOLES AT 900mm c/c ON 150mm x 45mm GUMPOLES ON OTHER TIED DOWN WITH 10 x 1.6mm HOOP IRON STRAPS 300mm x 1.2mm THICK GALVANISED HOOP IRON STRAPS @ 600mm c/c. TILES TO BE ANCHORED WITH 10mm GALVANISED HOOP IRON TIES BUILT IN 100mm DEEP.
 - B. CEILING
 - UNDERSIDE OF DECK TO BE SKIMMED
 - NO CEILING TO GARAGE
 - C. RAIN WATER GOODS
 - 102mm PVC GUTTERS AND 75mm PVC DOWNPIPE
 - 250mm HALF BRASS PRECAST CONCRETE WATER CHANNELS PAVED AREAS TO BE TIED TO THE GUTTER WATER SYSTEM
 - D. LIGHTING AND VENTILATION
 - ONE ABBRECK TO THE KITCHEN AND EACH BATHROOM
 - OR W.C. LIGHT FIXTURE ROOM AND THE KITCHEN IS TO HAVE LIGHTING EQUAL TO 10% OF THE FLOOR AREA. HALF GLOVE LIGHTS TO BE OPENABLE
 - E. FLOOR COVERINGS
 - CARPET, NOVELTY CARPETS OR TILES ON SCREENED 100mm CONCRETE ON COMPACTED SAND ON FLOORING LAYERS THICKNESS NOT MORE THAN 150mm
 - PC CONCRETE FLOOR BY SPECIALIST
 - F. FOUNDATIONS
 - FOUNDATIONS TO BE CONCRETE WALLS 230 x 300mm
 - FOUNDATION WALLS TO COMPLY TO THE FOLLOWING
 - a. HIGHER THAN 1.2m - 230mm THICK
 - b. HIGHER THAN 1.2m - 300mm THICK
 - c. HIGHER THAN 1.2m - BY ENGINEER
 - IN W.C. CONSTRUCTION
 - GROUND FLOOR INTERNAL - EXTERNAL
 - ROCK CONCRETE WITH 50mm CAVITY WITH 40mm SLATE TILES 100mm HIGH AND 38 x 38mm BATTENS FIXED TO WALL WITH ROOFING ALUMINIUM BRACKETS FIXED TO BATTENS (HAND FLANK DETAILS - MANUFACTURERS SPECIFICATIONS)
 - WALL THICKNESS = 247mm
 - G. GENERAL NOTES
 - TOP OF COARSE BELOW WALL PLATE HEIGHT, RISING WALLS UP TO FLOOR LEVEL AND GABLE END WALLS ABOVE WINDOW LINTEL HEIGHT TO BE SOLID PLUS 3 COARSE BLOCK WORK
 - MAXIMUM HEIGHT OF PARAPET WALLS TO BE 500mm
 - LINTELS TO ALL OPENINGS TO MANUFACTURERS SPECIFICATIONS
 - ANY FOUNDATION WHICH IS WITHIN 1.2m OF A DRAINLINE MUST BE BELOW THE LEVEL OF SUCH A DRAINLINE
 - STAIRS TREADS MAX. 200mm AND RISERS MAX. 200mm
 - GLAZING OF DOORS AND WINDOWS WHICH EXCEED 1m² OR ARE WITHIN 900mm OF E.L. - SAFETY GLASS
 - EXPANSION JOINTS TO BE PROVIDED IN SCREEN WALLS AT 50m c/c
 - ALL TIMBER TO BE GRADE
 - ALL WINDOWS ARE WOODEN - BUTTERFLY ORGANS
 - ORGANS E.L. TO BE 20mm ABOVE ROOF OPPOSITE BOUNDARY IC
 - IC - 150mm MIN ABOVE GROUND LEVEL
 - NO INSULATION TO BE PROVIDED TO ROOF
 - PLANNING WHERE REQUIRED TO SABS
 - TIMBER ROOF TRUSSES TO ALL TO BE WRAPPED IN DPC
 - DRAINAGE WITH LESS THAN 300mm COVER TO BE ENCASED IN 150mm CONCRETE
 - RE COVER LEVEL TO BE MIN 75mm ABOVE BOUNDARY IC COVER LEVEL
 - 100mm VENT PIPE OR VENT VALVES TO BE USED
 - 100mm DIA. PVC SEWER PIPES TO BE USED
 - ALL EXTERIOR DOORS TO BE SEPARATE
 - DRAINAGE FALL AS INDICATED ON PLANS
 - 150mm VENT VALVES TO BE USED AS INDICATED
 - 400mm RADUS BENDS TO BE USED AS INDICATED
 - ALL DRAINAGE UNDER BUILDINGS TO BE ENCASED IN 150 x 150mm CONCRETE
 - HALF HOUR FIRE DOOR AND BEAMBLING BETWEEN GARAGE AND DWELLING



SECTION A - A (SCALE 1 : 100)



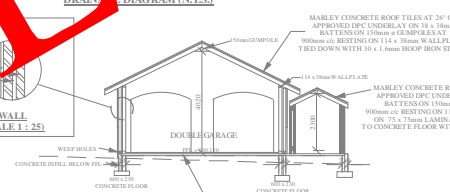
1st FLOOR WALL CONSTRUCTION (SCALE 1 : 25)



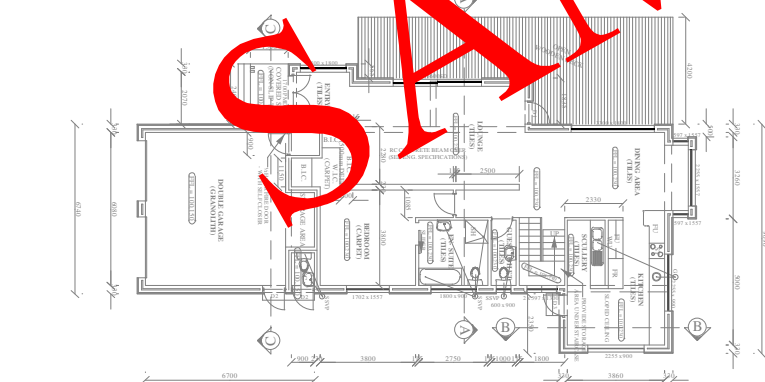
DRAINAGE DIAGRAM (N.T.S.)



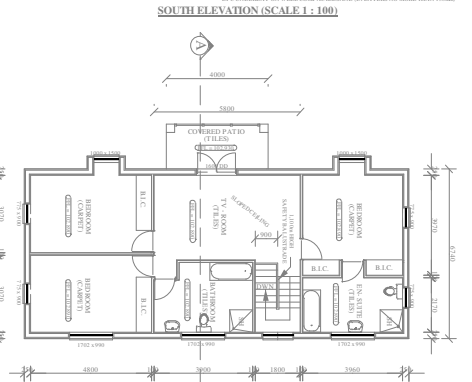
2nd FLOOR WALL CONSTRUCTION (SCALE 1 : 25)



SOUTH ELEVATION (SCALE 1 : 100)



GROUND FLOOR (SCALE 1 : 100)



FIRST FLOOR (SCALE 1 : 100)

AREA

FLOT	966.790m ²
HOUSE	131.800m ²
GROUND FLOOR	110.080m ²
FIRST FLOOR	44.580m ²
GARAGE	44.580m ²
TOTAL	286.460m ²



SECTION THROUGH STAIRCASE (1 : 100)



KITCHEN (SCALE 1 : 100)

AMENDED DRAWING REVISIONS:

NO.	DATE	DESCRIPTION
A		
B		
C		
D		
E		

LEGEND

- WC = WATER CLOSET (TOILET)
- W.C. = WALK IN CLOSET
- HB = HAND BATH
- SH = SHOWER
- B = BATH
- UP = UPSTAIRS
- WM = WASHING MACHINE
- SM = SINK
- SD = SWIN DRYER
- FL = FLOOR UNIT (600mm DEEP)
- WL = WALL UNIT (1500mm DEEP)
- BR = BRIDGE
- R.I.C. = BUILT IN CUPBOARD (600mm DEEP)
- BE = BEDROOM
- SS = STUB AT JACK

NEW DWELLING

SITE PLAN, SECTION PLANS AND ELEVATIONS

S PLANS CO ZA
architectural designs & drafting

PO BOX 10020
1111 11th Street
Durbanville 7800
Fax: (021) 934 7900
Cell: (082) 934 7900